

**FRONT YARD SET BACK TREE REMOVAL
REQUEST**

April 2024

Date: 3/26/2024

Requested by: Gail Fisher Gail.L.Fisher@gmail.com

Address: 952 Alameda Padre Serra, Santa Barbara, CA 93103

Location of Tree: 952 Alameda Padre Serra, Santa Barbara, CA 93103

Tree Species: (2) *Schinus molle*, *Common Name:* Pepper Tree

Zoning/Setback: RS-15 30'

Reason for Removal: This application is associated with a new development of an ADU located at 952 Alameda Padre Serra. The ADU will be located on the north side of the property off Roble Lane on the Riviera in a high fire area, so it requires parking. This is the only area possible for designated parking as the property is located on a 42% slope.

Proposed Replacement: Yes 2 peppers and several prunus trees. No

Advisory Committee Recommendation: Conditionally Approve Removal: Deny Removal: N/A

Staff Recommendation: Approve Removal: Deny Removal: N/A

Date Posted: 4/16/2024.

Comments: The Committee recommends (4/0) that the Commission approve the removals as proposed on the application.

PHOTO INVENTORY



Front Yard 952 Alameda Padre Serra – Gail Fisher 4-24-24

Tree Removal Application

APPLICANT/OWNER DETAILS

<input type="text" value="Fisher"/>	<input type="text" value="Gail"/>	
YOUR LAST NAME	YOUR FIRST NAME	
<input type="text"/>		
OWNER'S FULL NAME (IF YOU ARE NOT THE OWNER)		
<input type="text" value="952 Alameda Padre Serra"/>		
YOUR MAILING ADDRESS		
<input type="text" value="Santa Barbara"/>	<input type="text" value="CA"/>	<input type="text" value="93103"/>
CITY	STATE	ZIP CODE
<input type="text" value="909-578-8043"/>	<input type="text" value="Gail.L.Fisher@gmail.com"/>	
DAYTIME PHONE	EMAIL ADDRESS	

TREE INFORMATION

TYPE OF TREE: **SETBACK TREE(S)** **STREET TREE(S)**

<input type="text" value="2"/>	<input type="text" value="952 Alameda Padre Serra ---The backyard, also a front setback, is located west of neighbor"/>
NUMBER OF TREES	LOCATION OF TREE(S) - please be sure to indicate the property address where the trees are located
<input type="text" value="Pepper"/>	
SPECIES OF TREE(S), IF KNOWN	

REASONS FOR REMOVAL (TELL US WHY YOU WANT TO REMOVE THE TREE[S]). PLEASE INCLUDE:

- Whether or not the removal application is associated with new development or redevelopment of property
- Status of development application, including whether the project is scheduled for review by the Single Family Design Board, Architectural Board of Review, or Historic Landmarks Commission
- Whether or not the tree is a designated Specimen or Historic Tree or located on a property with a designated Historic Landmark

If you feel you need more space to outline the goals of your request, please feel free to attach a supplemental letter when you submit this form.

This application is associated with new development of an ADU located at 952 Alameda Padre Serra. The property has two front setbacks. The ADU will be located on the north part of the property off Roble Lane on the Riviera in a high fire area so it requires parking. This is the only area possible for the designated parking as the property is located on a 42% slope. The two pepper trees are growing very close together and some of their branches are intertwined. One of the pepper trees is very close to and encroaching on a mature oak on the western edge of the property.

There are a number of mature trees throughout the property, including seven mature oaks, two mature jacarandas, four mature pittosporum, two Loquat trees and another mature tree (I don't know the name of) creating a dense canopy of shade throughout the backyard. There are also several prunus trees that I have planted along the eastern part of the property. I intend to add more once construction is completed. There is so much shade in the back yard of the property, that I will need to get the required solar

WILL YOU REPLACE THE TREE(S)? YES NO See attached continued... reasons for removal

IF YES, WHAT WILL YOU REPLACE THE TREE(S) WITH?

Two peppers south of the parking area, several prunus trees for screening on the eastern and western part of the property.

952 Alameda Padre Serra

Tree Removal Reasons

This application is associated with new development of an ADU located at 952 Alameda Padre Serra. The property has two front setbacks. The ADU will be located on the north part of the property off Roble Lane on the Riviera in a high fire area so it requires parking. This is the only area possible for the designated parking as the property is located on a 42% slope. The two pepper trees are growing very close together and some of their branches are intertwined. One of the pepper trees is very close to and encroaching on a mature oak on the western edge of the property.

There are a number of mature trees throughout the property, including seven mature oaks, two mature jacarandas, four mature pittosporum, two Loquat trees and another mature tree (I don't know the name of) creating a dense canopy of shade throughout the backyard. There are also several prunus trees that I have planted along the eastern part of the property. I intend to add more once construction is completed. There is so much shade in the back yard of the property, that I will need to get the required solar electricity using panels from my primary residence. I also plan to plant several prunus trees for screening along the western side of the property once the construction is completed. And, I'll replant two pepper trees south of the parking area.

We completed SHO - 952 Alameda Padre Serra (PLN2022-00319) on March 6, 2024. In reviewing the last Complete Letter dated January 2024, all Departments (including Creeks) gave the go ahead. The next steps (and assuming the project passes the appeal period for the SHO decision), is to get the approval for the removal of the two pepper trees in the setback. The project is not scheduled for review by the Architectural Board of Review or the Historic Landmarks Commission. The trees are not designated Specimens, Historic Trees, or located on a property with a designated Historic Landmark. Once the project is fully through the Parks & Rec. process, then the project will submit to return to the Single Family Design Board (SFDB), Consent, for Project Design Approval (PDA). Thank you, Gai Fisher, Owner



CONSTRUCTION DOCUMENTS ADDENDA

1. CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE CONTRACT DOCUMENTS, EXAMINE THE PROJECT SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK AND THE INTENT OF THE CONTRACT DOCUMENTS...

SOIL & EXISTING CONDITIONS

1. GEOTECHNICAL REPORTS ARE NOT INCLUDED IN THE CONTRACT DOCUMENTS, BUT MAY BE MADE AVAILABLE TO CONTRACTOR FOR INFORMATION ONLY...

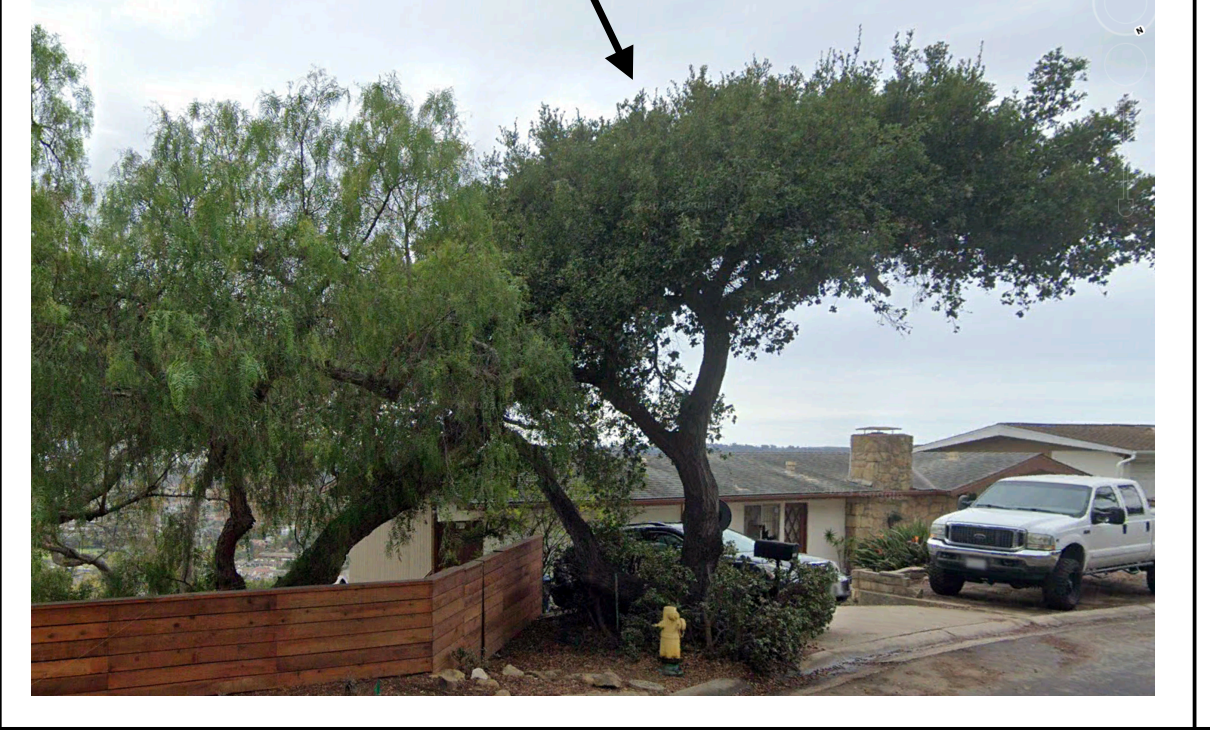
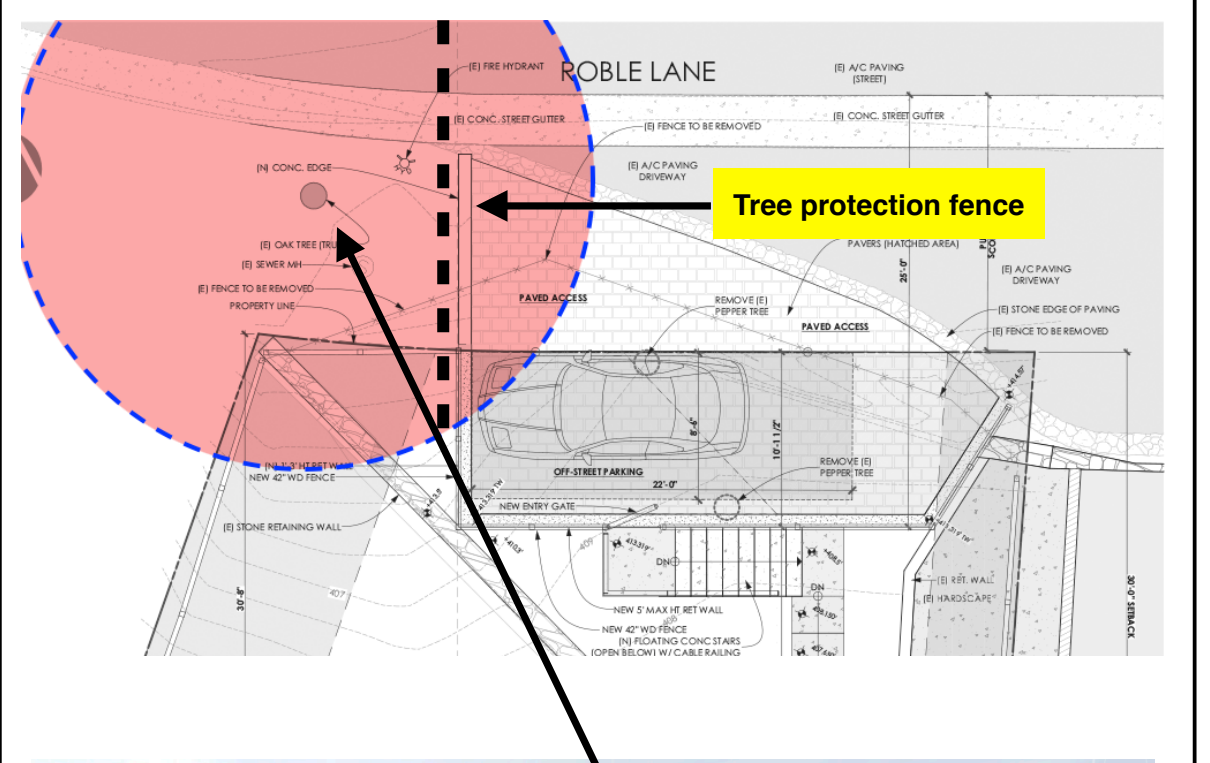
FIRE DEPARTMENT NOTES

1. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED FOR THIS STRUCTURE. FIRE EXTINGUISHER SIZE AND LOCATION TO BE DETERMINED BY THE FIRE DEPARTMENT.

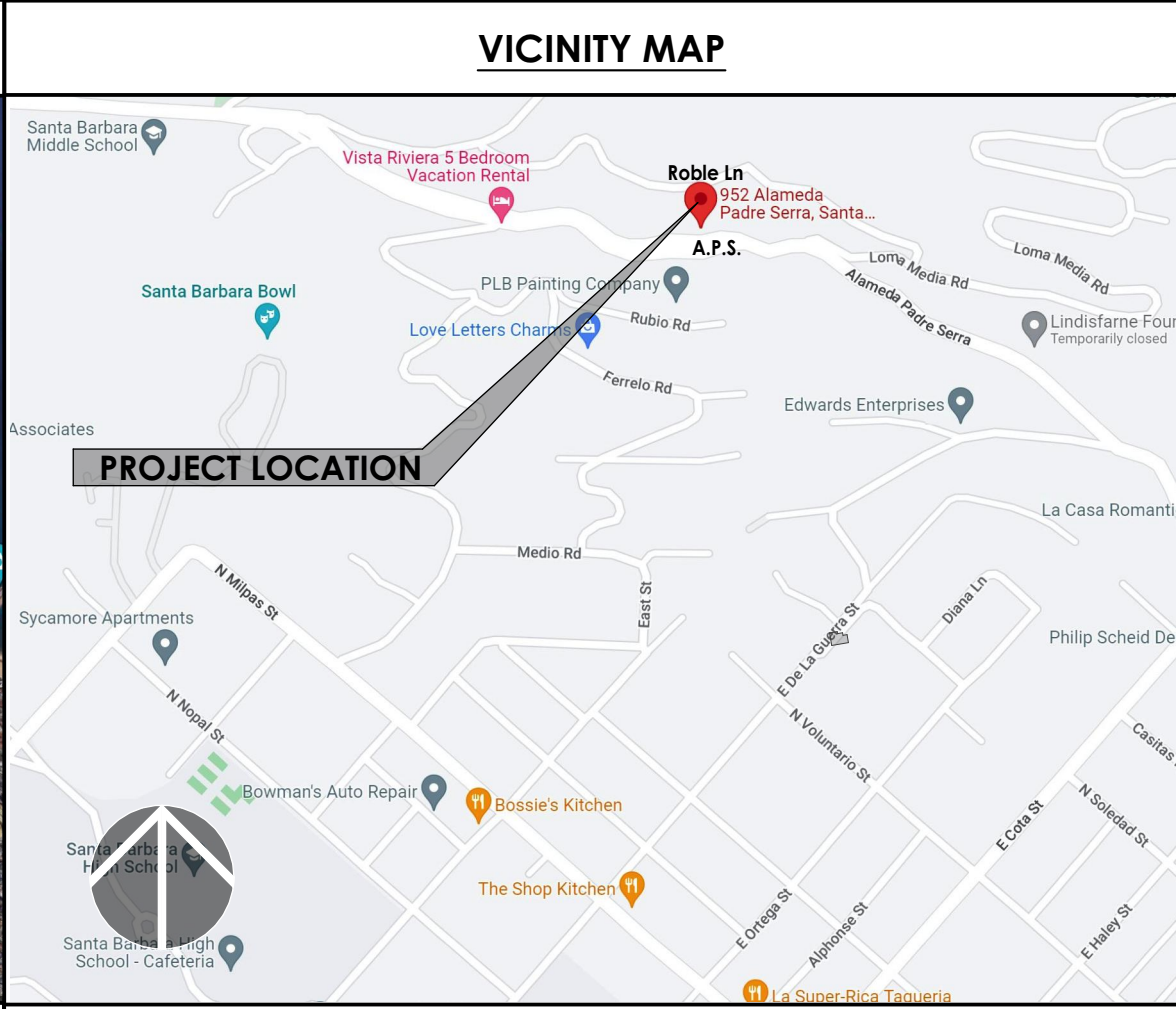
OAK TREE ASSESSMENT & PROTECTION REPORT

Bill Spiewak CONSULTING ARBORIST
February 28, 2023
Ken Vermillion - Bildsten Architecture + Planning
30 West Figueroa Street
Santa Barbara CA 93101

Prepared by: Bill Spiewak
Registered Consulting Arborist #381
American Society of Consulting Arborists
Qualified Tree and Plant Appraiser



FISHER ADU: FRONT YARD MODIFICATION
952 ALAMEDA PADRE SERRA, SANTA BARBARA, CA 93103



APPLICABLE CODES

STATE CODES:
2019 CALIFORNIA BUILDING CODE (BASED ON THE 2015 IBC)
2019 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 IRC)
2019 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2014 NEC)

FIRE PROTECTION

1. ANY ITEMS WHICH PENETRATE FIRE RATED WALLS MUST BE EITHER FERROUS OR COPPER AND FIRE-STOPPED. ELECTRICAL OUTLET BOXES INSTALLED IN FIRE RATED WALLS SHALL BE STEEL...

CITY OF SANTA BARBARA FAR CALCULATIONS

Table with columns for Project Address (952 A.P.S.), Zone (E-1 or RS-15), FAR calculations (FAR Ratio 0.182, MAX FAR Calculation 2,500), and Acroage Conversion Calculator (Net Lot Area 13939.2).

PROJECT & CODE ANALYSIS

PROPERTY INFORMATION:
OWNER: GAIL L. FISHER
SITE ADDRESS: 952 ALAMEDA PADRE SERRA, SANTA BARBARA, CA 93103
PARCEL INFORMATION: COUNTY OF SANTA BARBARA, MAP BK# 019-25 PARCEL LOT# 15

BUILDING & LOT DATA

LOT AREA: 13,939 SF (0.32 acre)
PARCEL SLOPE AVERAGE: 42%
PROPOSED GRADING: (REFER TO CIVIL GRADING/DRAINAGE SHEETS)
EXISTING & PROPOSED STRUCTURES ON SITE: EXISTING SINGLE FAMILY DWELLING; EXISTING ATTACHED 1-CAR GARAGE

PROJECT DESCRIPTION / SCOPE

THE 796 SF (NET), 2 BEDROOM ACCESSORY DWELLING UNIT (ADU) IS PROPOSED PURSUANT TO SANTA BARBARA MUNICIPAL CODE SECTION 30.185.040. THE PROPERTY OWNER IS REQUESTING A MODIFICATION FOR A SINGLE PARKING SPACE AND THE REQUIRED STAIRS AND LANDING(S) TO GAIN ACCESS TO THE PROPOSED ADU...

SHEET INDEX

Table listing sheet titles and numbers: G1.1 COVER SHEET / PROJECT INFO, C-1 GRADING & DRAINAGE TITLE SHEET, C-2 GRADING & DRAINAGE PLAN, C-3 EROSION CONTROL PLAN, C-4 DRAINAGE DETAILS, A0.1 EXISTING SITE SURVEY, A0.2 PHOTOS: AERIAL | LOCATION | EXTERIOR, A0.3 PHOTOS: SITE AND AREA, A1.1 FULL SITE PLAN (SURVEY OVERLAY), A1.2 SITE PLAN (PROJECT SCOPE), A101 FLOOR PLANS, A201 EXTERIOR ELEVATIONS.

ADDITIONAL PARKING DATA

Table for Primary Residence Parking: Existing: 1 Covered / 0 Uncovered; Proposed: 1 Covered / 0 Uncovered; Required: 2 Covered / Nonconforming - No Change.

SITE GRADING & EARTHWORK QUANTITIES

Table for Site Grading: CUT: 45 CY; FILL: 40 CY.

PERVIOUS & IMPERVIOUS AREAS

Table for Pervious & Impervious Areas: Existing Pervious Area: 1,305 sf; Proposed Net Pervious Area: 1,435 sf; Total (E) + (N) Pervious Area: 1,435 sf.

PROJECT DIRECTORY

ARCHITECT: BILDSTEN ARCHITECTURE & PLANNING
CONTACT: ELLEN BILDSTEN
STRUCTURAL ENGINEER: STUDIO ENGINEERS, INC.
CONTACT: JOSEPH A. TASCA, P.E.
MECHANICAL & PLUMBING ENGINEER: MOON ENGINEERING, INC.
CONTACT: TIM MOON

MEMO/REVISION: DATE:
PLANNING SHO 2nd SUBMITAL 04/25/2023

PLANNING SHO 3rd SUBMITAL 06/08/2023
PLANNING SHO 4th SUBMITAL 08/14/2023



NOT FOR CONSTRUCTION

FISHER ADU: FRONT YARD MODIFICATION
952 ALAMEDA PADRE SERRA
SANTA BARBARA, CA 93103

APN: 019-252-015

THIS PROJECT RECORD DOCUMENT, DRAWINGS, AND/OR SPECIFICATIONS HAVE BEEN PREPARED ON THE BASIS OF DATA COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND ELLEN BILDSTEN ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT...



THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

SCALE: AS NOTED
PRINT DATE: 11/29/23

SHEET: COVER SHEET / PROJECT INFO

SHEET # LayOutSubset of 38
G1.1

CITY OF SANTA BARBARA

FISHER RESIDENCE ADU

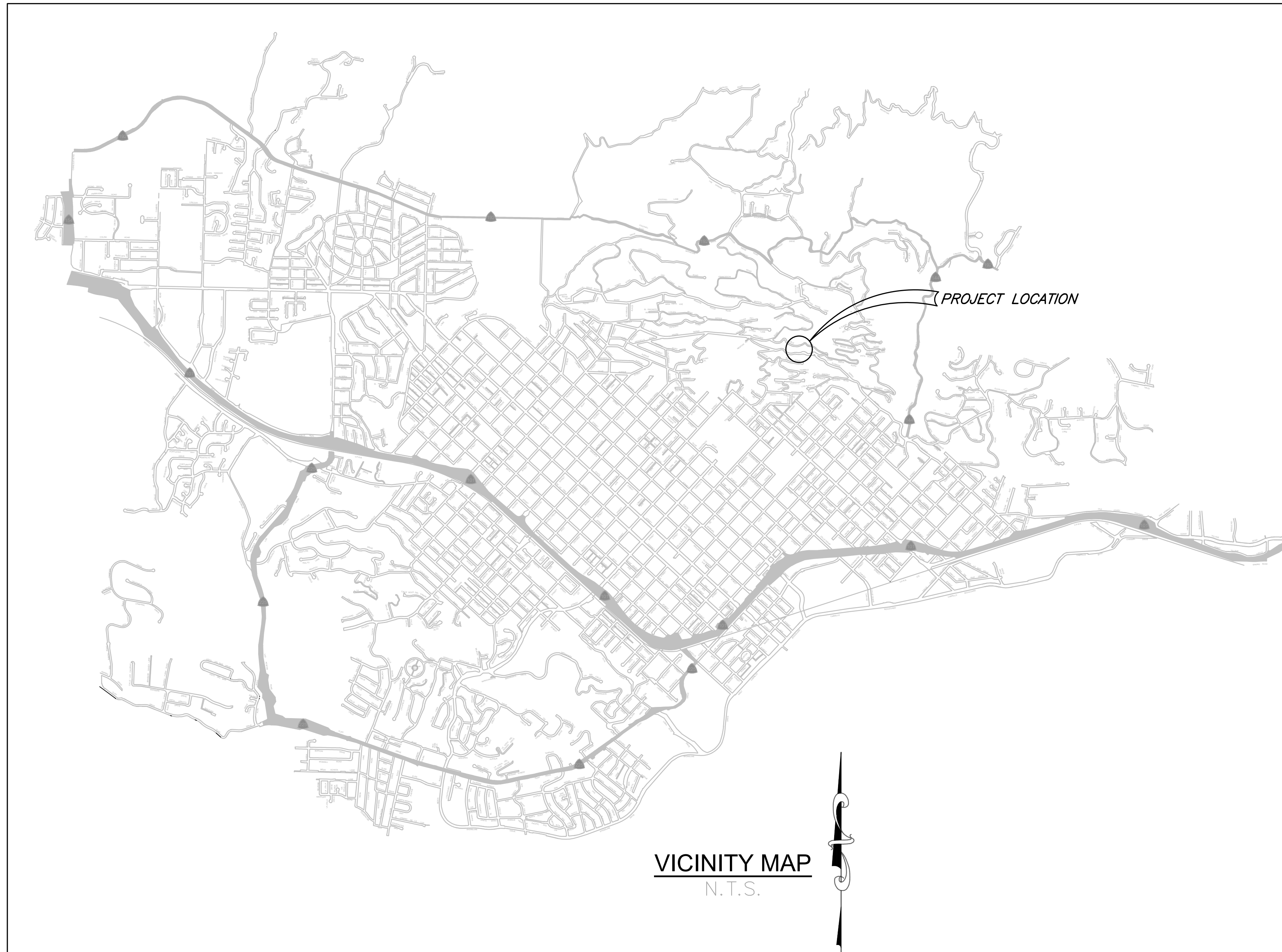
PROJECT NO. XXXX, BID NO. XXXX



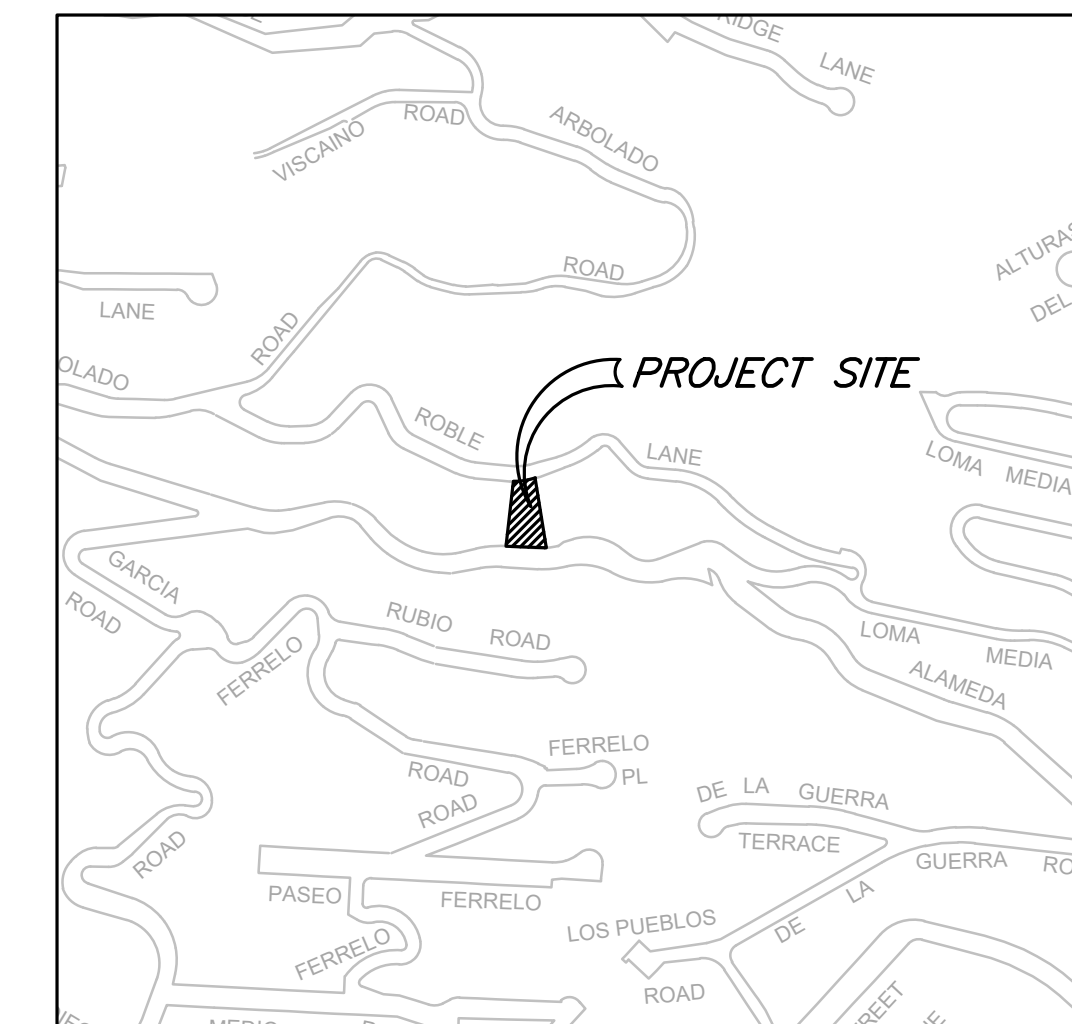
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PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

APPROVED: _____ DATE _____
CITY ENGINEER ORIGINAL SIGNED DATE _____



SHEET INDEX			
SHEET #	SHEET DESIGNATOR	TITLE	DESCRIPTION
1		TITLE SHEET	TITLE SHEET
2		GRADING PLAN	
3		EROSION CONTROL PLAN	
4		DRAINAGE DETAILS	
5			
6			



SYMBOL LEGEND

- | | | | | | |
|-------|---------------------------|-----------------|---------------------------|------|----------------------------|
| —W— | EXISTING WATER MAIN | —CTV— | EXISTING CABLE TV | WM | EXISTING WATER METER |
| —G— | EXISTING GAS MAIN | — | EXISTING EDGE OF PAVEMENT | OTMH | EXISTING TELEPHONE MANHOLE |
| —S— | EXISTING SEWER MAIN | — | EXISTING FLOWLINE | E | EXISTING ELECTRIC PULL BOX |
| —E— | EXISTING SCE MAIN | Q _{FH} | EXISTING FIRE HYDRANT | ● | EXISTING POWER POLE |
| —T— | EXISTING TELEPHONE MAIN | O _W | EXISTING WATER VALVE | — | EXISTING STREET SIGN |
| —SD— | EXISTING STORM DRAIN MAIN | O _{GV} | EXISTING GAS VALVE | * | EXISTING STREET LIGHT |
| —O— | EXISTING FENCE | GM | EXISTING GAS METER | ⊙ | EXISTING CITY MONUMENT |
| —R/W— | RIGHT OF WAY LINE | | | ⊙ | EXISTING IP SURVEY MARKER |

ABBREVIATION LEGEND

- | | | | |
|-------|------------------|-----|-------------------|
| BM | BENCHMARK | MH | MANHOLE |
| BOW | BACK OF WALK | NTS | NOT TO SCALE |
| CTV | CABLE TELEVISION | R/W | RIGHT OF WAY |
| E | ELECTRICAL | S | SEWER |
| ECONC | EDGE OF CONCRETE | SD | STORM DRAIN |
| FH | FIRE HYDRANT | T | TELEPHONE |
| FL | FLOW LINE | TC | TOP OF CURB |
| FOW | FRONT OF WALK | TMH | TELEPHONE MANHOLE |
| G | GAS | P | PAVEMENT |
| | | W | WATER |



PREPARED BY:
LEWIS ENGINEERING
1143 E. MAIN STREET
VENTURA, CALIFORNIA 93001
PHONE: (805) 448-1353

RCE 40877 EXP. 3-31-23 DATE:

DRAINAGE AND GRADING PLAN
FISHER RESIDENCE ADU
 925 ALAMEDA PADRE SERRA

PBW. NO. _____

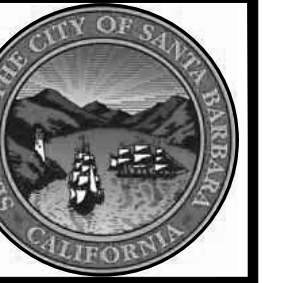
BID NO. _____ SHT. DES. _____

DWG. NO. _____

C-1



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PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

APPROVED: DATE CITY ENGINEER ORIGINAL SIGNED DATE

DESIGN AR DRAWN AR CHECKED JLM

Table with columns for DATE, APPROVED, AR, DRAWN, AR, CHECKED, JLM, and REVISIONS.

Table with columns for NO., DATE, APPROVED, AR, DRAWN, AR, CHECKED, JLM, and REVISIONS.

DRAINAGE AND GRADING PLAN FISHER RESIDENCE ADU 925 ALAMEDA PADRE SERRA

PBW. NO.

BID NO. SHT. DES.

DWG. NO.

C-2

CONSTRUCTION NOTES:

- (A) RETAINING WALLS PER SEPARATE PERMIT. MUST BE SUBMITTED TO CITY OF SANTA BARBARA BUILDING AND SAFETY DEPARTMENT. (B) CONSTRUCT 4" THICK CONC. 2500 PSI W/ #4 @ 24" O.C. WALK AND DECK SURFACES PER ARCHITECTURAL PLANS. COMPACT THE TOP 18" OF SURFACE SOILS TO 90% RELATIVE DENSITY, AND THE TOP 9" COMPACTED TO 95% RELATIVE DENSITY, PER SOILS ENGINEER'S RECOMMENDATION. (C) CONSTRUCT CONCRETE PAVERS PER ARCHITECTURAL PLANS. COMPACT THE TOP 18" OF SURFACE SOILS TO 90% RELATIVE DENSITY, AND THE TOP 9" COMPACTED TO 95% RELATIVE DENSITY, PER SOILS ENGINEER'S RECOMMENDATION. (D) CONSTRUCT RAISED CONCRETE DECK SEE ARCHITECTURAL AND STRUCTURAL PLANS. (E) INSTALL NDS 12" SQ. CATCH BASIN WITH 12" SQ. TRAFFIC GRATE. (F) INSTALL 4" SDR 35 P.V.C. DRAIN PIPE S=0.0100 MIN. (G) EXISTING RETAINING WALL TO BE REMOVED. (H) EXISTING RETAINING WALL TO REMAIN PROTECT IN PLACE. (I) BUILT UP RAISED STAIRS SEE ARCHITECTURAL PLANS. (J) INSTALL RAINFOREST SYSTEM 3.28' X 9.84' X 3.67' DEEP PER MFG RECOMMENDATIONS SEE SHEET 3 TOTAL OF 3 STACKS OF 11 UNITS EA. (24.8 GAL CAPACITY PER UNIT. 24.8 X 33 = 818.4 GAL TOTAL). (K) INSTALL NDS 6" SPEE-D BASIN WITH 6" POP UP EMITTER. (L) INSTALL RAINFOREST3 MAINTENANCE PORT PER DETAIL ON SHEET 3.

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (S.S.P.W.C.), ADDITIONAL REFERENCE IS MADE TO THE VENTURA COUNTY BUILDING CODE WHICH ADOPTS BY REFERENCE CBC CHAPTER 33 EXCAVATION AND GRADING, THE VENTURA COUNTY STANDARD LAND DEVELOPMENT SPECIFICATIONS, AND THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (S.P.P.W.C.). 2. AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE REGIONAL NOTIFICATION CENTER (UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA - U.S.A.) AT 811 OR 1-800-422-4133 TO OBTAIN INDUSTRY IDENTIFICATION NUMBER AND TO REQUEST THE UTILITY OWNERS TO MARK OR OTHERWISE INDICATE THE LOCATION OF THEIR SUBSURFACE FACILITIES, THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING SERVICE CONNECTIONS, WHICH HAVE BEEN MARKED BY THE RESPECTIVE OWNERS AND WHICH MAY AFFECT OR BE AFFECTED OPERATIONS. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITIES AND ALL STRUCTURES FOUND ON THE SITE. 3. THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF WORK, UNTIL FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. THE CONTRACTOR SHALL ALSO ABATE DUST NUISANCE BY CLEANING, SWEEPING AND SPRINKLING WITH WATER. 4. ALL DAMAGE CAUSED TO PUBLIC STREETS AND PRIVATE PROPERTY SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR. 5. THE LOCATIONS OF EXISTING SUBSTRUCTURES HAVE BEEN TAKEN FROM RECORDS AVAILABLE AND THEIR APPROXIMATE LOCATIONS ARE SHOWN ON THE PLANS TO THE EXTENT THE INFORMATION IS KNOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL SUBSTRUCTURES WHICH MAY BE SUBJECT TO DAMAGE BY REASON OF HIS OPERATIONS. THE FACT THAT ANY UTILITY IS INCORRECTLY SHOWN, OR NOT SHOWN, SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO PROTECT SUCH A UTILITY FROM DAMAGE. THE CONTRACTOR'S ATTENTION IS DRAWN TO THE POSSIBLE EXISTENCE OF IRRIGATION LINES, ELECTRICAL OR COMMUNICATION CABLE OR CONDUIT, AND SEWER, WATER OR DRAINAGE PIPES IN THE WORK AREA AND WHICH IS NOT SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR SUBSTRUCTURES CONCERNED BEFORE STARTING WORK. 6. A PRECONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. 7. BITUMINOUS PAVEMENT TO BE JOINED SHALL BE SAWCUT AND TRIMMED TO CLEAN STRAIGHT EDGES. 8. ASPHALT CONCRETE SHALL BE C2-AR-4000 OR C2-AR-8000. 9. RECOMMENDATIONS AND CONCLUSIONS OF SOILS REPORT NO. _____ DATED _____ 20____ BY _____ OF _____ SHALL BE THOROUGHLY COMPLIED WITH. THE MENTIONED REPORT IS HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL SURVEY MONUMENTATION AND CONTROL POINTS DISTURBED DURING CONSTRUCTION. 11. THE CONTRACTOR SHALL PROVIDE A SMOOTH RIDING SURFACE TRANSITION AT THE ENDS OF AC OVERLAY WITH A LENGTH EQUAL TO TEN FEET FOR EVERY INCH DIFFERENCE BETWEEN SURFACES. 12. STREET NAME SIGNS AND TRAFFIC SIGNS REMOVED DURING CONSTRUCTION SHALL BE RE-INSTALLED AT LOCATIONS SPECIFIED BY ENGINEER. 13. TACK COAT SHALL BE APPLIED TO ALL SAWCUT AC SECTIONS AND COLD-MILLED AC SURFACES PRIOR TO ADJACENT AC APPLICATIONS. 14. BUILDINGS ARE SERVED BY SANITARY SEWER SYSTEM (PRIVATE). SEE UTILITY PLANS. 15. A SEPARATE PUBLIC WORKS PERMIT IS REQUIRED FOR ALL PROPOSED WORK IN THE PUBLIC RIGHT-OF-WAY (PROW) REQUIRES A PUBLIC WORKS SUBMITTAL.

EARTHWORK QUANTITIES

QUANTITIES: CUT 45 CY FILL 40 CY

EARTHWORK NOTE

THE EARTHWORK QUANTITIES ARE ESTIMATES ONLY. THEY ARE THE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS AND PROPOSED GRADE ELEVATIONS AND THEY MAKE NO PROVISIONS FOR SHRINKAGE, SETTLEMENT, WORK STRUCTURAL EXCAVATIONS. THEREFORE, THE ACTUAL VOLUME OF EARTH MOVED MAY BE DIFFERENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES FOR HIMSELF AND SHALL NOT RELY ON THESE ESTIMATES FOR PAYMENT PURPOSES. NO CERTIFICATION AS TO THE EARTHWORK BALANCE OR ACCURACY IS IMPLIED.

PROPERTY LINES ARE APPROXIMATE



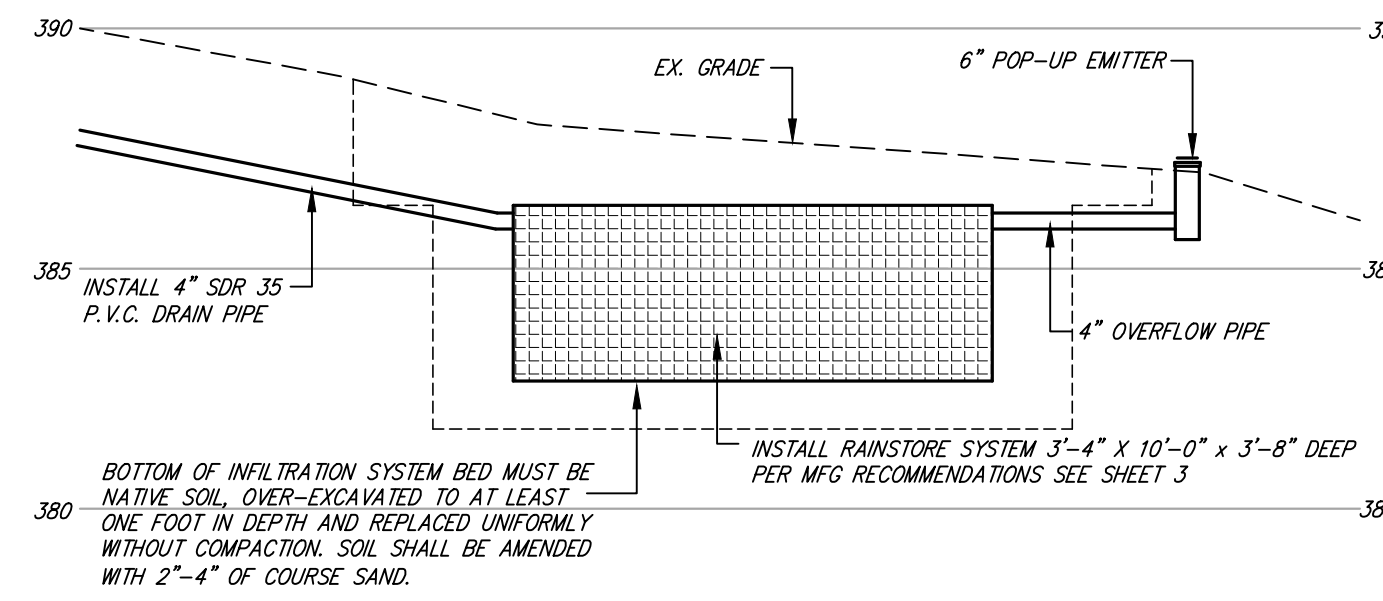
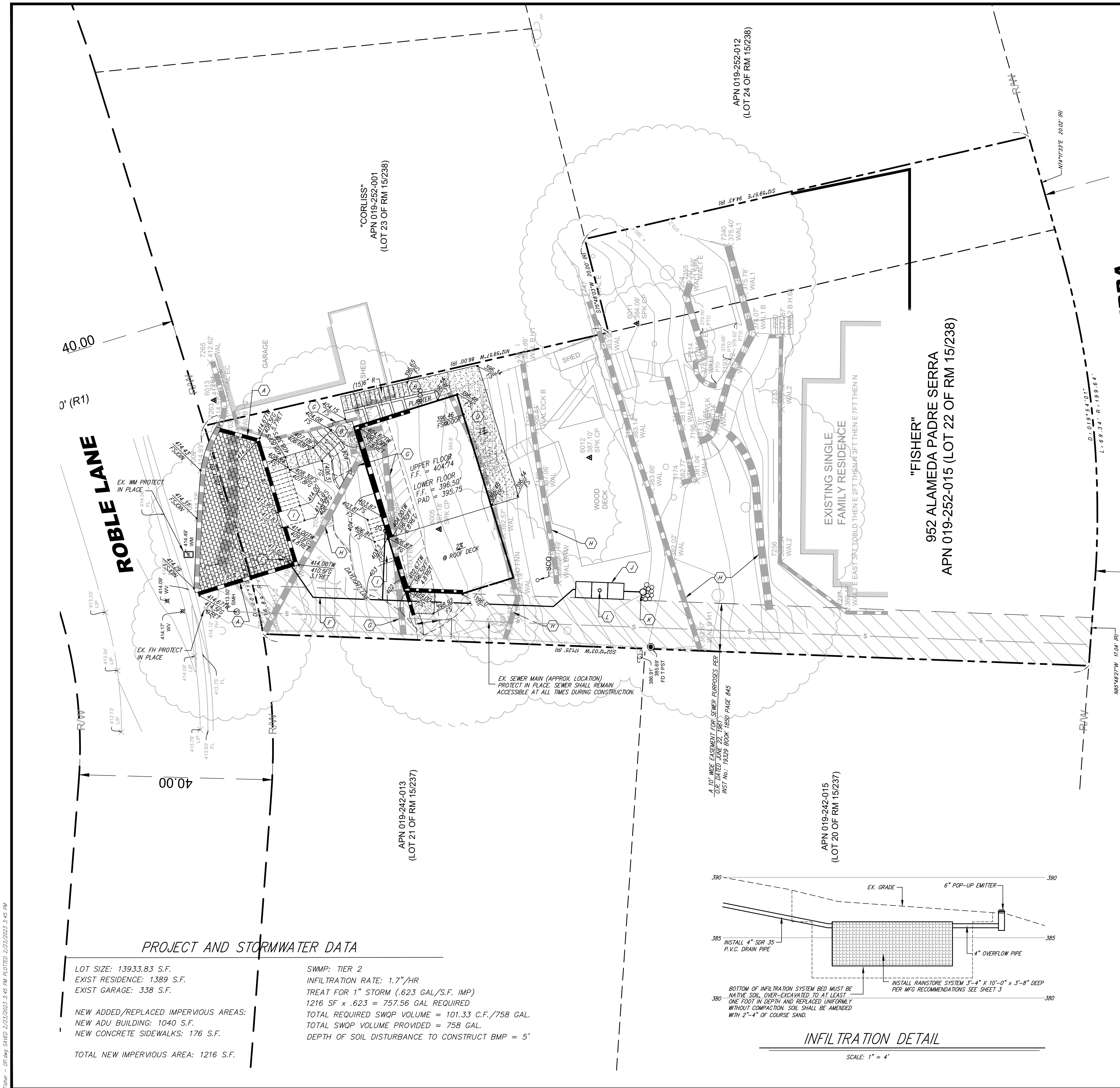
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PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805) 448-1353

RCE 40877 EXP. 3-31-23

DATE:



INFILTRATION DETAIL

SCALE: 1" = 4'

PROJECT AND STORMWATER DATA

LOT SIZE: 13933.83 S.F. EXIST RESIDENCE: 1389 S.F. EXIST GARAGE: 338 S.F. NEW ADDED/REPLACED IMPERVIOUS AREAS: NEW ADU BUILDING: 1040 S.F. NEW CONCRETE SIDEWALKS: 176 S.F. TOTAL NEW IMPERVIOUS AREA: 1216 S.F.

SWMP: TIER 2 INFILTRATION RATE: 1.7"/HR TREAT FOR 1" STORM (.623 GAL/S.F. IMP) 1216 SF x .623 = 757.56 GAL REQUIRED TOTAL REQUIRED SWQP VOLUME = 101.33 C.F./758 GAL. TOTAL SWQP VOLUME PROVIDED = 758 GAL. DEPTH OF SOIL DISTURBANCE TO CONSTRUCT BMP = 5'

Checker: DP, Date: 2/21/2023, 8:45 AM, PLOTTED: 2/21/2023, 8:45 AM



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PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION

APPROVED: DATE CITY ENGINEER ORIGINAL SIGNED DATE

DESIGN AR DRAWN AR CHECKED JLM

DATE APPROVED

Table with 2 columns: NO., REVISIONS

SIGNATURE DATE

DRAINAGE DETAILS FISHER RESIDENCE 925 ALAMEDA PADRE SERRA

PBW. NO.

BID NO. SHT. DES.

DWG. NO.

C-4

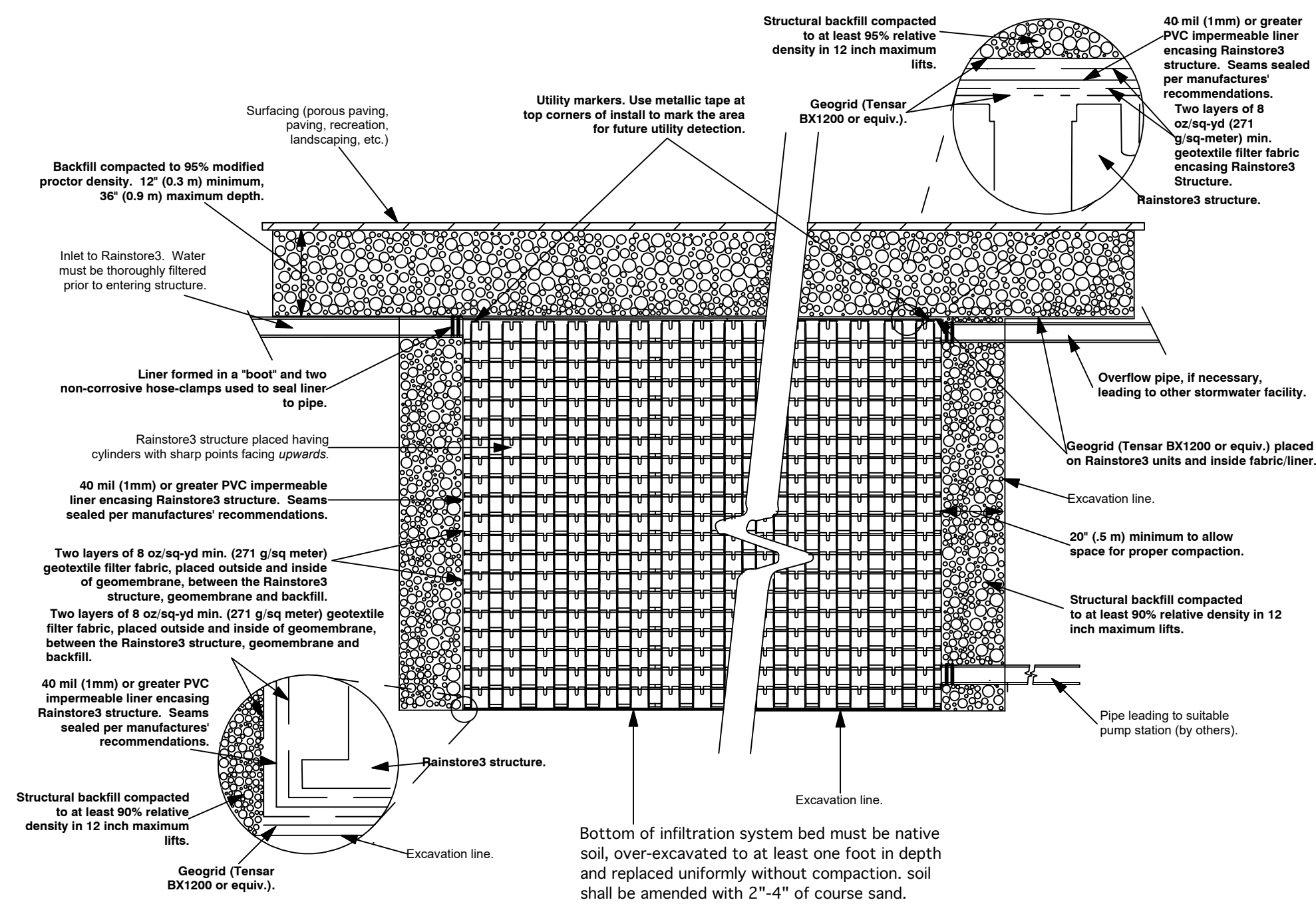
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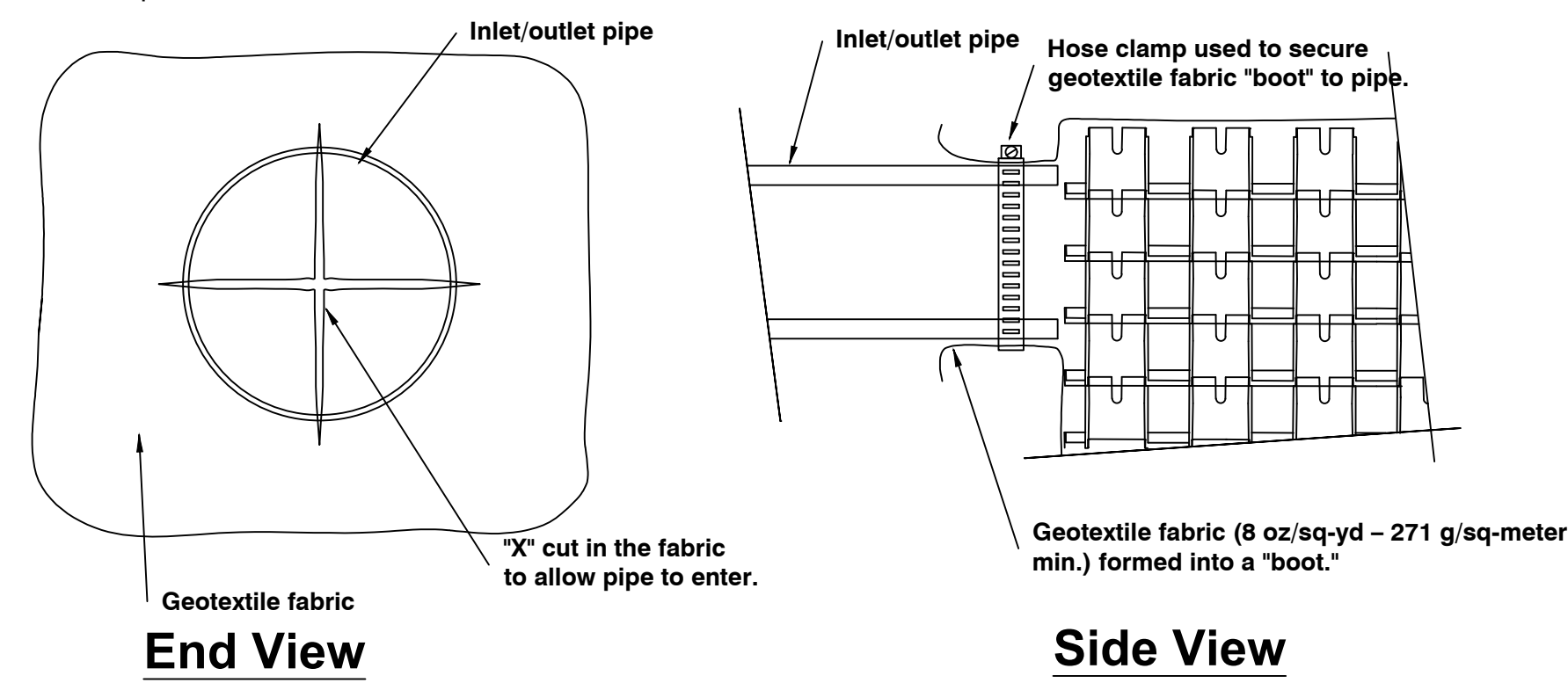
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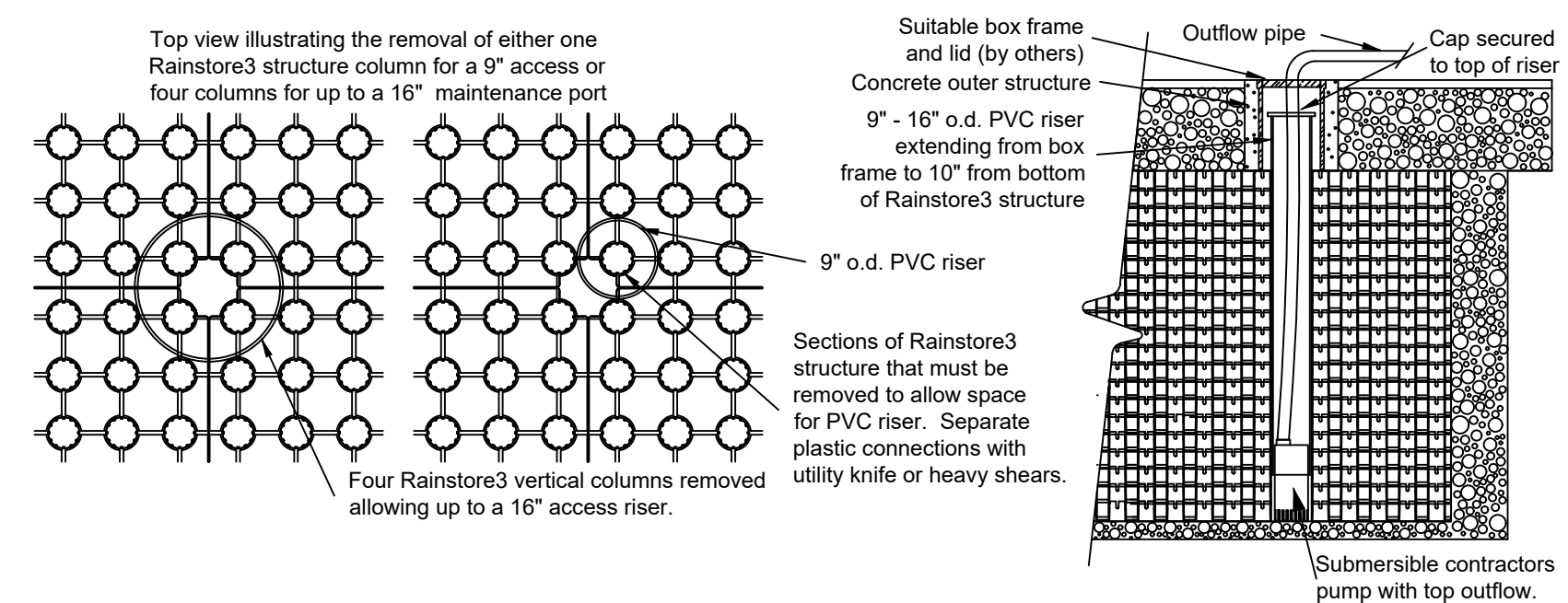


RAINSTORE3 SYSTEM SCALE: NOT TO SCALE

End view of pipe/fabric connection. Cut an X in the fabric slightly larger than pipe, pull the fabric around the pipe to create the "boot" and then secure with a hose-clamp.



RAINSTORE3 INLETS/OUTLETS WITH FABRIC SCALE: NOT TO SCALE



RAINSTORE3 MAINTENANCE PORT SCALE: NOT TO SCALE

ARCHAEOLOGICAL NOTE

PRIOR TO THE START OF ANY VEGETATION OR PAVING REMOVAL, DEMOLITION, TRENCHING OR GRADING, CONTRACTORS AND CONSTRUCTION PERSONNEL SHALL BE ALERTED TO THE POSSIBILITY OF UNCOVERING UNANTICIPATED SUBSURFACE ARCHAEOLOGICAL FEATURES OR ARTIFACTS ASSOCIATED WITH PAST HUMAN OCCUPATION OF THE PARCEL. IF SUCH ARCHAEOLOGICAL RESOURCES ARE ENCOUNTERED OR SUSPECTED, WORK SHALL BE HALTED IMMEDIATELY, THE CITY ENVIRONMENTAL ANALYST SHALL BE NOTIFIED AND AN ARCHAEOLOGIST FROM THE MOST CURRENT CITY QUALIFIED ARCHAEOLOGISTS LIST SHALL BE RETAINED BY THE APPLICANT, THE LATTER SHALL BE EMPLOYED TO ASSESS THE NATURE, EXTENT AND SIGNIFICANCE OF ANY DISCOVERIES AND TO DEVELOP APPROPRIATE MANAGEMENT RECOMMENDATIONS FOR ARCHAEOLOGICAL RESOURCE TREATMENT WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, REDIRECTION OF GRADING AND/OR EXCAVATION ACTIVITIES, CONSULTATION AND/OR MONITORING WITH A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST, ETC. IF A DISCOVERY CONSISTS OF POSSIBLE HUMAN REMAINS, THE SANTA BARBARA COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY IF THE CORONER DETERMINES THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION. A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION. IF A DISCOVERY CONSISTS OF POSSIBLE PREHISTORIC OR NATIVE AMERICAN ARTIFACTS OR MATERIALS, A BARBARENO CHUMASH REPRESENTATIVE FROM THE MOST CURRENT CITY QUALIFIED BARBARENO CHUMASH SITE MONITORS LIST SHALL BE RETAINED TO MONITOR ALL FURTHER SUBSURFACE DISTURBANCE IN THE AREA OF THE FIND. WORK IN THE AREA MAY ONLY PROCEED AFTER THE ENVIRONMENTAL ANALYST GRANTS AUTHORIZATION.

MAINTENANCE STATEMENT

THE PROPOSED STORM WATER BMPs, WHICH INCLUDE 595 GALLON RAINSTORE SYSTEM SHALL BE MAINTAINED AS DESCRIBED IN SANTA BARBARA MUNICIPAL CODE 22.87.030 IN ACCORDANCE WITH THEIR APPROVED SPECIFICATIONS. OWNER (NAME AND TITLE): GAIL FISHER, HOMEOWNER

SIGNATURE DATE

PROPERTY LINES ARE APPROXIMATE

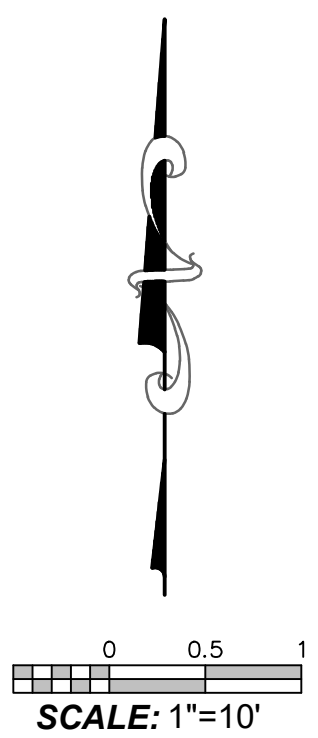


Know what's below. Call before you dig.



PREPARED BY: LEWIS ENGINEERING 1143 E. MAIN STREET VENTURA, CALIFORNIA 93001 PHONE: (805) 448-1353

RCE 40877 EXP. 3-31-23 DATE



Fisher - 09.dwg SHAD 2/21/2023 8:45 AM E:\0102\2\21\2023\3_46.dwg

SITE SURVEY
for A PORTION OF
952 ALAMEDA PADRE SERRA
APN 019-242-014
 ~CITY & COUNTY OF SANTA BARBARA ~
 ~ STATE OF CALIFORNIA ~

~FEBRUARY 2021~
 ~UPDATED NOVEMBER 2023~

WATERS CARDENAS LAND SURVEYING, INC.
 JOSE V. CARDENAS & BARRY J. WATERS
 LICENSED LAND SURVEYORS
 5553 HOLLISTER AVE - STS. 7&8 - GOLETA, CALIFORNIA 93117
 PHONE: (805) 967-4416
 SCALE: 1" = 10' WC W.O. #21-0886

BILDSTEN
ARCHITECTURE
and PLANNING

30 WEST FIGUEROA ST | SB, CA 93101 | 805 845 2446

NOT FOR CONSTRUCTION

PROJECT:
FISHER ADU: FRONT YARD MODIFICATION
 952 ALAMEDA PADRE SERRA
 SANTA BARBARA, CA 93103

APN: 019-252-015

THIS PROJECT RECORD DOCUMENT, DRAWINGS, AND/OR SPECIFICATIONS HAVE BEEN PREPARED ON THE BASIS OF DATA COMPILED AND FURNISHED BY OTHERS. BILDSTEN ARCHITECTURE & PLANNING AND BILDSTEN ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS RESULTING FROM THAT DATA BEING INCORPORATED INTO THIS DOCUMENT. THESE DRAWINGS AND SPECIFICATIONS AND THE INCORPORATED DATA AND DESIGN CONSTITUTE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF BILDSTEN ARCHITECTURE & PLANNING. THESE DOCUMENTS IN WHOLE OR IN PART SHALL NOT BE USED ON EXTENSIONS OF THE PROJECT OR FOR OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND APPROPRIATE COMPENSATION TO BILDSTEN ARCHITECTURE & PLANNING.



THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS AT THE JOB SITE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PROJECT.

© BILDSTEN ARCHITECTURE and PLANNING

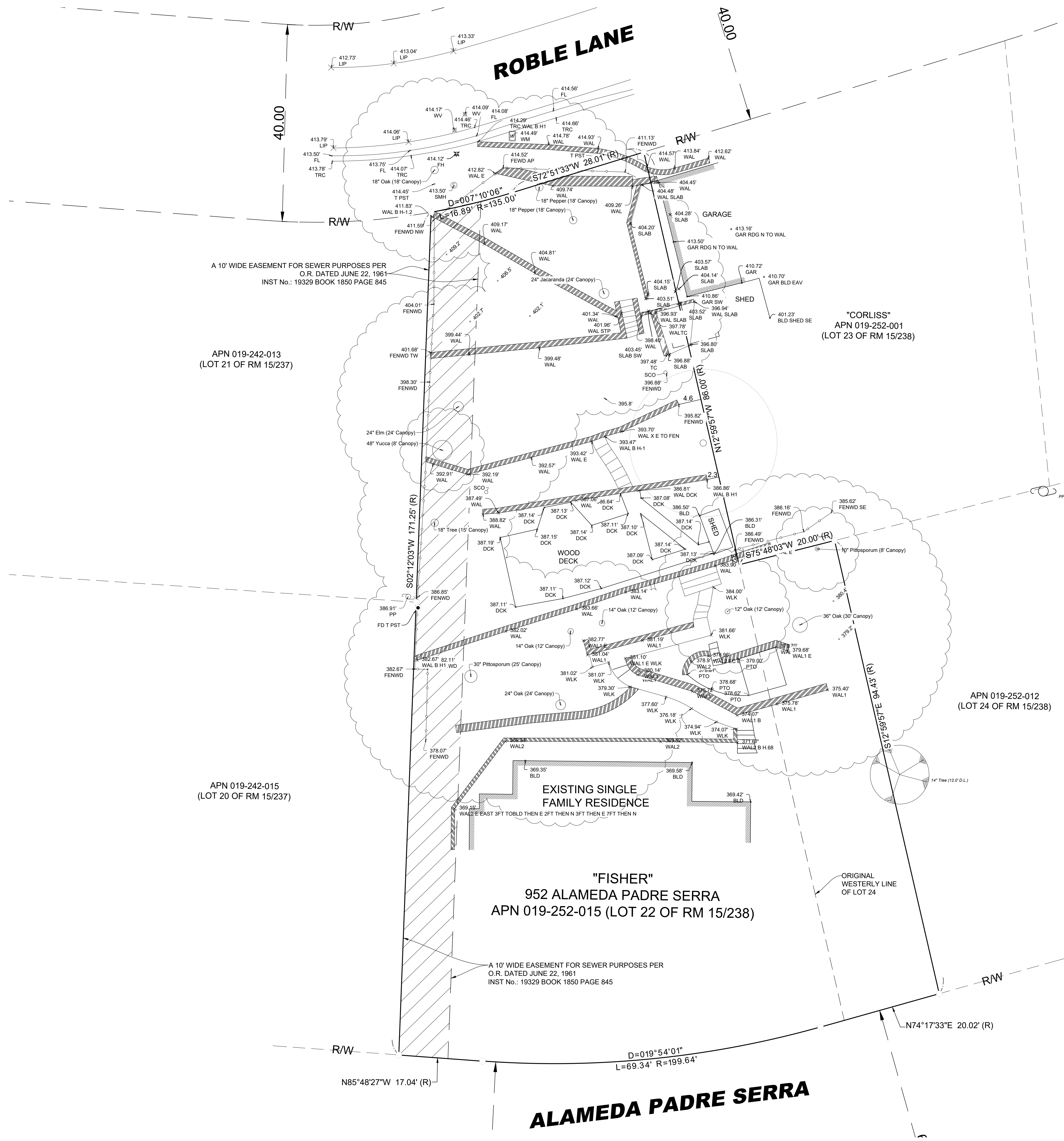
DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND IMMEDIATELY REPORT ANY DISCREPANCIES OR VARIATIONS TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.

SCALE: AS NOTED
 PRINT DATE: 11/29/23

SHEET:
EXISTING SITE SURVEY

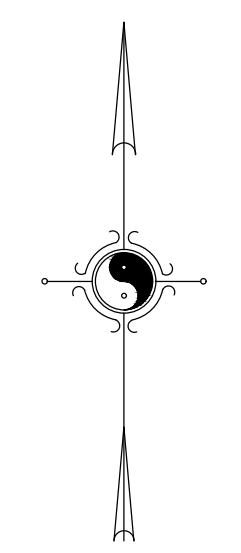
SHEET #LayNoinSubset of 38

A0.1



LEGEND

BLD	BUILDING
DCK	DECK
FH	FIRE HYDRANT
FL	FLOW LINE
LIP	EDGE OF PAVEMENT
PL	PROPERTY LINE
PP	POWER POLE
PST	POST
PTIO	PATIO
R/W	RIGHT OF WAY
SMH	SEWER MANHOLE
T*	(SPECIES* SIZE*DRIP RADIUS*)
T POST	T POST
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
WLK	WALK
WM	WATER METER
WV	WATER VALVE



GRAPHIC SCALE

1 inch = 10 ft.

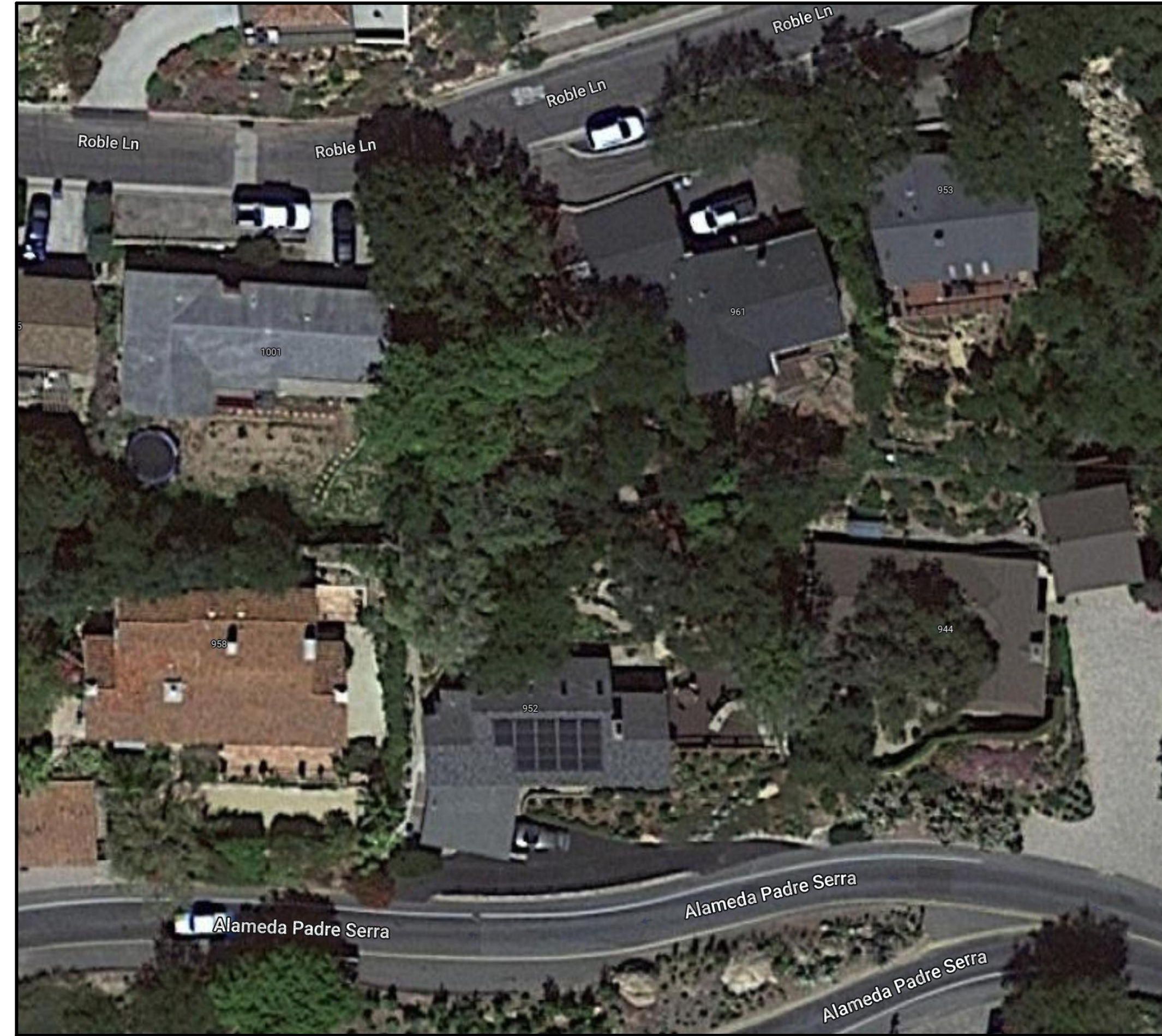
NOTES:

- (1) HORIZONTAL BASIS OF COORDINATES IS NAD83 PER STA 0009 PER RECORD OF SURVEY BOOK 147, PAGES 70-74.
- (2) VERTICAL DATUM IS NAVD88 PER STA 0009 PER RECORD OF SURVEY BOOK 147, PAGES 70-74. ELEVATION 312.63' FEET
- (3) ○ = NO MONUMENT FOUND OR SET UNLESS OTHERWISE NOTED
- (4) ● = FOUND MONUMENT AS NOTED
- (5) (R) = BOUNDARY SHOWN IS PER MAP BOOK 15 PAGES 236-238 AND INST No.: 2013-0035285 OF O.R., ROTATED TO NAD83
- (6) EASEMENTS SHOWN HERON ARE PER W.F.G TITLE REPORT #21-199159 DATED 12-31-2020

THE DECISION, MANDATORY, BY ARCHITECTURE AND PLANNING, 952 ALAMEDA PADRE SERRA, SANTA BARBARA, CA 93103, DATE: 11/29/23 | PRINT DATE: Wednesday, November 29, 2023



1 ADU LOCATION VIEW
SCALE: 1" = 1'-0"



3 FISHER_952_APS_aerial
SCALE: 1:1.18

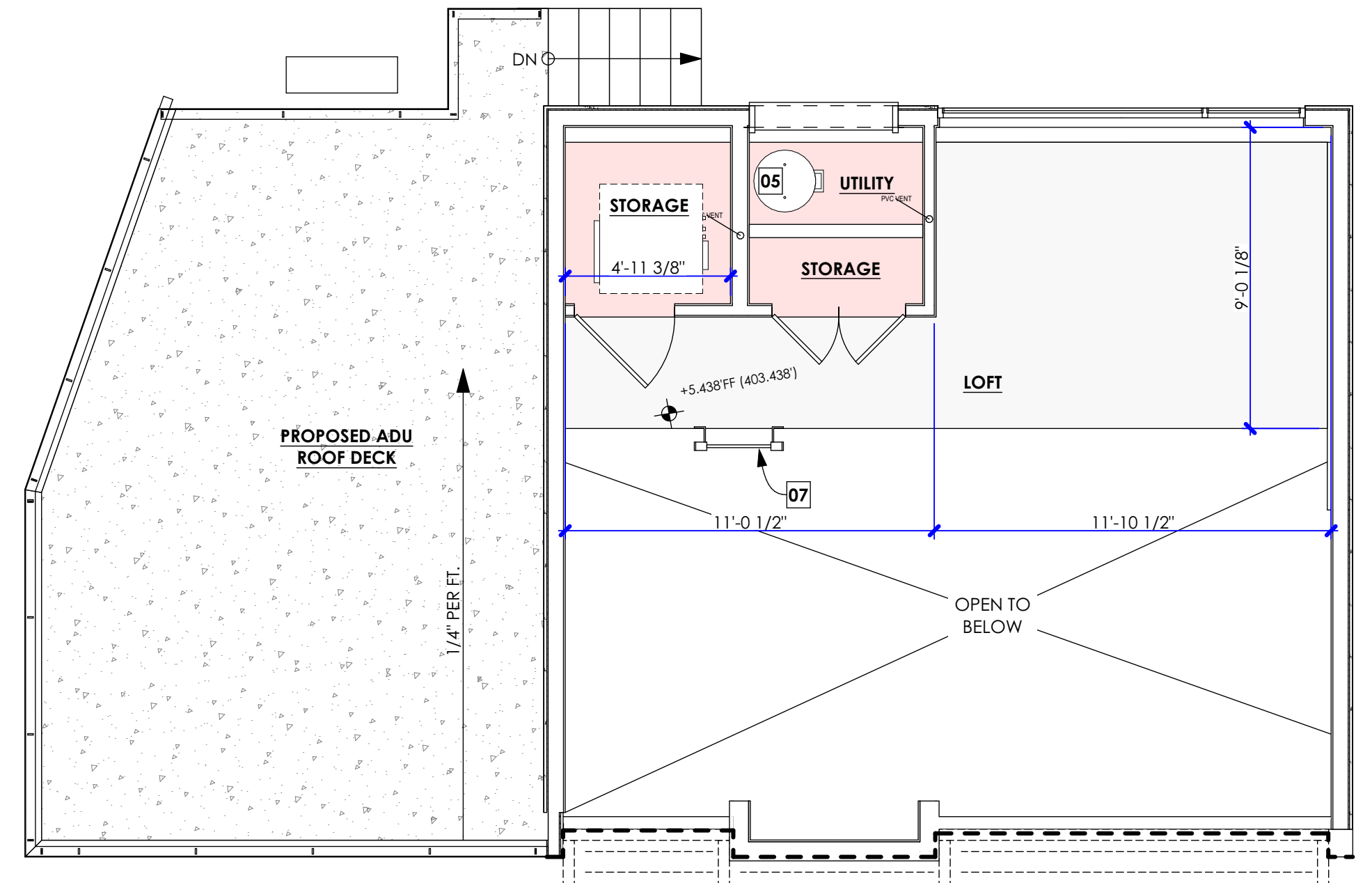


2 FISHER_952_APS_exterior
SCALE: 1" = 1'-0"

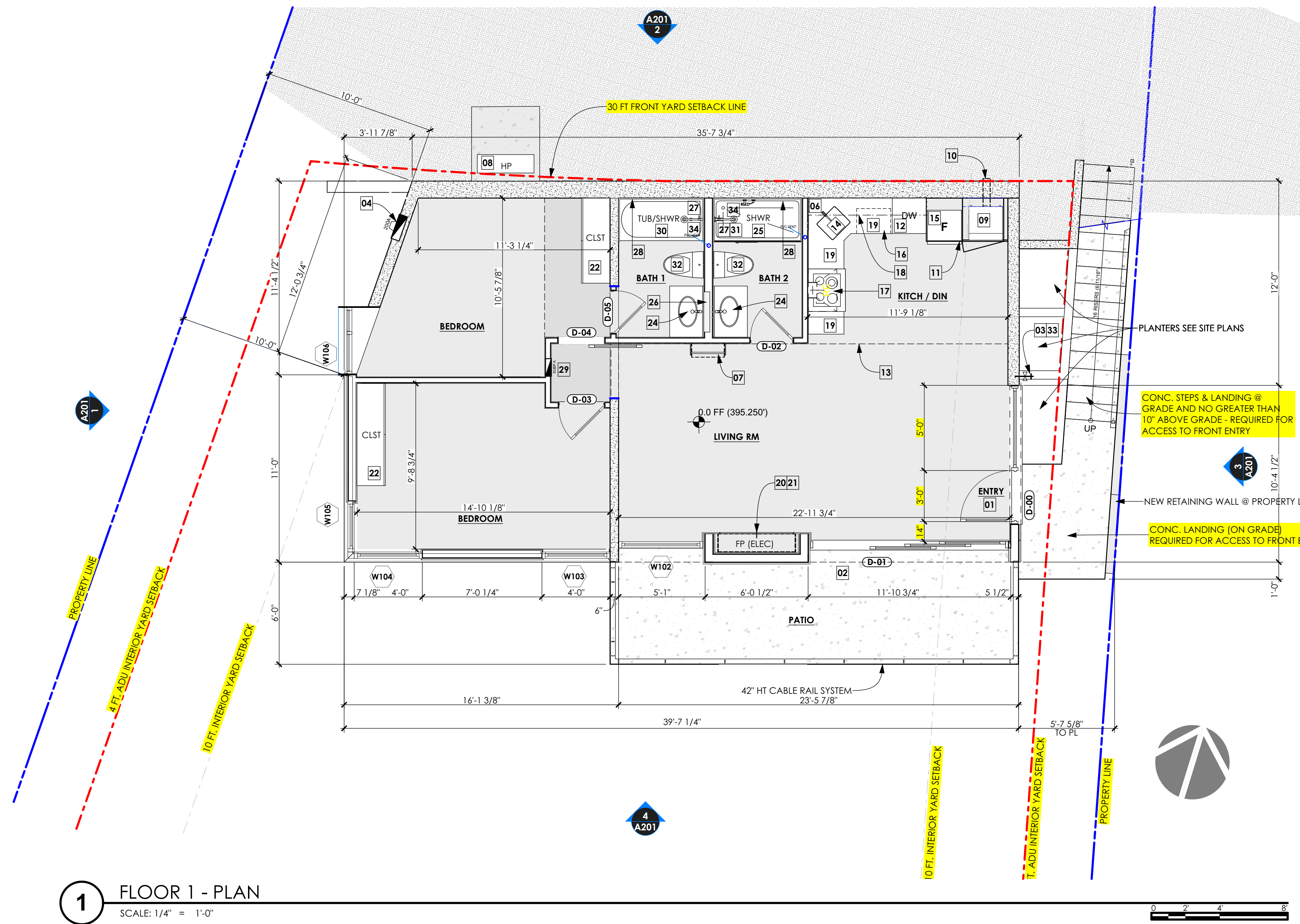
FLOOR PLAN KEY NOTES

- 01 MAIN ENTRY - SEE DOOR SCHEDULE - OWNER TO CONFIRM LOCK SET AND HARDWARE w/ CONTRACTOR PRIOR TO ORDER
- 02 LANDINGS AT EXTERIOR DOORS - AT EXTERIOR DOORS THAT ARE NOT REQUIRED EXIT DOORS, LANDINGS SHALL BE NOT MORE THAN 7/8 INCHES BELOW THE TOP OF THE THRESHOLD.
- 03 MAIN WATER S.O.V. - SEE CIVIL GRADING PLANS
- 04 200A ELECTRICAL SERVICE - MAIN PANEL/METER "M" - REFER TO ELEC. SHEETS
- 05 ELECTRIC W/H VENT DIRECTLY OUTSIDE OF EXTERIOR WALL - REFER TO M.SHEETS: INSTALLED BY CONTRACTOR PER SPECIFICATIONS
- 06 REVERSE OSMOSIS UNDER COUNTER SYSTEM (PROVIDE TO FRIDGE WATER) BY OWNER - INSTALLED BY CONTRACTOR
- 07 CUSTOM LADDER TO LOFT - HARD WOOD TREADS TO DOUBLE FOR/AND FINISH AS SHELVES - DESIGN BUILD W/ CONTRACTOR
- 08 HEAT PUMP UNITS FOR MINI-SPLIT CONDITIONING SYSTEM - INSTALL ON CONCRETE SUPPORT PADS PER MFR. REC. - REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION
- 09 WASHER AND DRYER - OWNER SELECT. CONTRACTOR INSTALL. PROVIDE GAS & ELEC. OPTIONAL HOOKUP. TERMINATION OF VENT SHALL COMPLY WITH SECTION 908.6 OF THE UNIFORM MECHANICAL CODE. DRYER VENTS THROUGH NEAREST EXTERIOR WALL. DRYER VENT SHOWN BY DASHED GREY LINE. DRYER DUCTS SHALL NOT EXCEED A COMBINED HORIZONTAL & VERTICAL LENGTH OF 14FT, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET WILL BE DEDUCTED FOR EACH ELBOW IN EXCESS OF TWO.
- 10 DRYER VENT LOCATION
- 11 CUSTOM FULL HEIGHT FRIDGE/LAUNDRY/STOR. CABINERY - DESIGN BUILD TO SPECS OF SELECTED FRIDGE AND LAUNDRY EQUIP.
- 12 JEN-AIR 24" BUILT-IN TRIFECTA UNDER COUNTER DSHWASHER (88D8A - JDTSS244GP) - OWNER TO CONFIRM SELECTION. CONTRACTOR INSTALL.
- 13 EDGE OF KITCHEN SOFFIT ABOVE.
- 14 KITCHEN CORNER SINK w/ FAUCET & GARBAGE DISPOSAL - OWNER SELECT, CONTRACTOR INSTALL.
- 15 24" BUILT-IN REFRIGERATOR/FREEZER (548NXP0E) - OWNER TO SELECT, CONTRACTOR INSTALL.
- 16 JEN-AIR 24" UNDER COUNTER MICROWAVE OVEN W/ DRAWER DESIGN (JMDPS24GS) - OWNER TO CONFIRM SELECTION. CONTRACTOR INSTALL.
- 17 JEN-AIR 37" INDUCTION SLIDE IN RANGE (JIS452DS) W/ 37" PYRAMID CANOPY WALL 400 CFM VENTILATION HOOD (JWSS30FS) - (CONTRACTOR TO INSTALL ELECTRICAL CIRCUIT FOR INDUCTION RANGE) - OWNER TO CONFIRM SELECTIONS. CONTRACTOR INSTALL.
- 18 BUILT IN UPPER SHELVING/CABINERY - OWNER TO SELECT SIZE & DEPTH & STYLE OF STORAGE. CONTRACTOR INSTALL.
- 19 24" D BASE CABINETS TO 36" H. w/ COUNTER TOP - OWNER SELECTED, CONTRACTOR INSTALL.
- 20 UL LISTED ELECTRIC FIREPLACE - Dimplex Opti-V™ Dual Virtual Fireplace (VF5452L)
- 21 BUILT IN CUSTOM ENTERTAINMENT CENTER w/ CABINERY / BOOK CASE - DESIGN BUILD w/ ARCHITECT & CONTRACTOR.
- 22 CUSTOM CLOSET CABINERY - 7 H. CUSTOM CLST CAB. OWNER TO CONSULT W/ CLOSET SPECIALIST OR DESIGN BUILD W/ CONTRACTOR.
- 23 CUSTOM SHELVING AND COUNTER TO MATCH SINK/VANITY - OWNER SELECT. DESIGN/BUILD W/ CONTRACTOR INSTALL.
- 24 VANITY SINK IN 36" H. 24" D BASE CABINET AND COUNTER SURFACE. OWNER SELECT, CONTRACTOR INSTALL.
- 25 WALK IN SHOWER w/ TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5] & TIGHT FITTING SLIDING GLASS DOOR TO 70" HEIGHT - FIXTURES, FAUCETS & TILE - OWNER SELECT, CONTRACTOR INSTALL.
- 26 ROBERTI PL1640 SERIES INSET MEDICINE CABINETS w/ ELEC. w/ 2" INLINE MODULAR LIGHTS ON EA. SIDE OF 20" M SERIES MIRROR @ CENTER. OWNER TO CONFIRM SELECTION. CONTRACTOR INSTALL.
- 27 SHOWER & TUB FAUCETS - PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (CPC 408.3) OWNER SELECT, CONTRACTOR INSTALL.
- 28 WALK IN SHOWER W/ TILE WALLS MIN 70" HEIGHT - TIGHT FITTING SHOWER DOOR TO 70" HEIGHT w/ TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5] BENCH, FAUCETS & TILE - OWNER SELECT, CONTRACTOR INSTALL. SEE S/A-504
- 29 SUB PANEL "A": REFER TO ELECTRICAL DRAWINGS
- 30 SHOWER/TUB COMBO UNIT. **NON-SLIP JOINT TRAP SHALL BE USED (CPC Sec.402.10)** MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWERS SHALL BE A MATERIAL TYPE NOT ADVERSELY AFFECTED BY MOISTURE. FINISH MATERIAL IN SHOWER SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. IF OTHER THAN SHOWER CURTAIN IS USED, SHOWER DOORS TO BE TEMPERED OR LAMINATED SAFETY GLASS [CRC R308.4.5] & TIGHT FITTING SLIDING GLASS DOOR TO 70" HEIGHT
- 31 THERMOSTATIC SHOWER VALVE/TUB MIXING VALVE CONTROLS LOCATION: PROVIDE INDIVIDUAL CONTROL VALVES PER (CPC 408.3) - OWNER TO SELECT MAKE/MODEL
- 32 ELONGATED TOILET - OWNER SELECT (MAX 1.28 GAL PER FLUSH. MIN 24" CLEAR SPACE @ FRONT OF TOILET)
- 33 WATER SHUT OFF LOCATION - CONFIRM W/ OWNER PRIOR TO INSTALLATION
- 34 10" RAIN SHOWER HEAD - OWNER SELECT, CONTRACTOR INSTALL.
- 35 SCUTLE ATTIC ACCESS @ CEILING - MINIMUM 22" x 30" SEE SHEET G-002 NOTES "F2" FOR ADDITIONAL INFORMATION.

2 LOFT PLAN
SCALE: 1/4" = 1'-0"



1 FLOOR 1 - PLAN
SCALE: 1/4" = 1'-0"



PLAN GENERAL NOTES

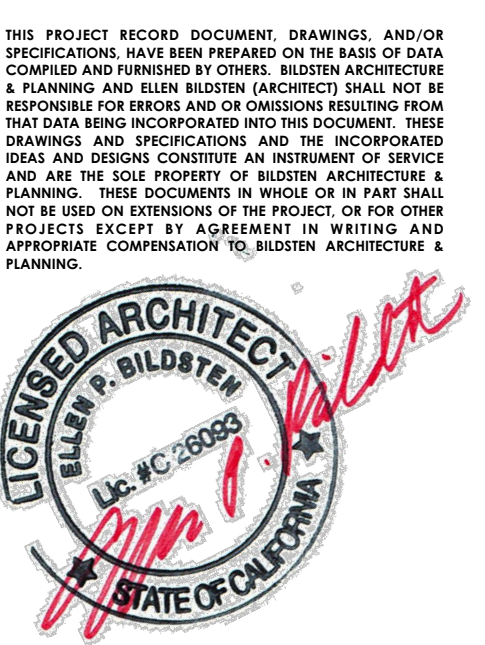
- A. REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL INFORMATION. REFER TO SHEET GN-002 FOR ADDITIONAL GENERAL CONSTRUCTION NOTES.
- B. ALL DIMENSIONS ARE TO FRAMING EDGE OR CENTER AND NOT TO FINISH WALL UNLESS NOTED OTHERWISE (U.N.O.)
- C. SEE STRUCTURAL S PLANS FOR ADDITIONAL STRUCTURAL INFORMATION.
- D. SEE CIVIL C PLANS FOR ADJACENT GRADE REFERENCE AND GRADING INFORMATION.
- E. SEE SITE PLANS AND/OR CIVIL PLANS FOR ADDITIONAL SITE INFORMATION.
- F. SEE DOOR AND WINDOW SCHEDULES ON A-600 SERIES SHEETS FOR TYPES, SIZES & DETAILS.
- G. CROSS REFERENCE & VERIFY ALL FINISH FLOOR HEIGHTS WITH CIVIL PLANS.
- H. REFER TO KEYNOTES AND DETAILS FOR ADDITIONAL INFO.
- I. ALL GYP. BOARD AT INTERIOR WALLS TO BE 5/8".
- J. ALL INTERIOR PAINT, PLASTER FINISHES TO BE LOW OR NO VOC.
- K. ALL CABINETS, TRIM, AND INTERIOR FINISHES TO BE OWNER SELECTED.
- L. ENCLOSED ROOF EAVES, ROOF EAVE SOFFITS, AND EXTERIOR PORCH CEILINGS SHALL HAVE A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3, CBC707A.5 thru 8, CRC R337.7.5 thru 8
- M. DUCTS IN THE BASEMENT/CRAWL SPACE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE BASEMENT/CRAWL SPACE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE BASEMENT/CRAWL SPACE. CRC R302.5.2
- N. WHEN THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BACONIES AND STAIRS OR ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE BUILDING, THE WALKING SURFACE MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF CBC SECTION 709A.5 [CRC R337.9.3] WHERE THE WALKING SURFACE MATERIAL SHALL BE CONSTRUCTED WITH IGNITION-RESISTANT MATERIAL COMPLIANT WITH PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND 12-7A-5.
- O. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [CBC 705A.4 / CRC R337.5.4]
- P. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUAL GLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE (CBC 2406) OR SHALL BE GLASS BLOCK UNITS. SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. [CBC 708A.2.1 & 708A.3.1, CRC R337.8.2.1 & R337.8.3.1]
- Q. SAFETY GLAZING SHALL BE CATEGORY II STYF GLAZING TESTED IN ACCORDANCE WITH CPSC 16 CFR 1201 AS REQUIRED BY [CRC R308.3.1] AND IN CONFORMANCE WITH THE APPLICABLE CHAPTER [CRC R308.1] IN THE FOLLOWING AREAS:
 - GLAZING WITHIN 24" OF DOORS
 - GLAZING IN ANY PORTIONS OF TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET [CRC R308.4.5]
 - GLAZING IN STAIR LANDINGS AND WITHIN 60" OF THE BOTTOM AND TOP OF THE STAIRWAY.
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
- R. ALL EXTERIOR WALLS USE R-21 BATT MIN. ROOF & EAVE CAVITIES SHALL BE DEMILEC APX 1.2 R-value of R-3.7 INCH (ICC-ES ACC-377 appendix X compliant) [ICC ESR-3470] SPRAY FOAM INSULATION WITH MIN R-8. REFER TO TITLE 24 ENERGY CALCULATIONS FOR MORE INFORMATION.
- S. EXTERIOR WALL ASSEMBLIES ON THIS STRUCTURE SHALL COMPLY WITH WUI PROVIDING A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE PER CBC 707A3.1, CRC R337.7.3
- T. EXTERIOR WALL COVERINGS SHALL EXTEND FROM TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. CBC707A.3.1, CRC R33.7.3.1
- U. FIRE BLOCKING SHALL BE PROVIDED:
 - 1) IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS @ 10' INTERVALS ALONG WALLS.
 - 2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN-LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - 4) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILINGS AND FLOOR LEVELS, WITH INCOMBUSTIBLE MATERIALS.
 - 5) AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
- V. MIN. 5/8" TYPE "X" GYPSUM BOARD APPLIED ON THE CEILING OF BASEMENT/CRAWLSPACE SIDE WHERE HABITABLE ROOM IS LOCATED ABOVE (INCLUDING STRUCTURAL MEMBERS SUPPORTING THE UPPER FLOOR, CEILING, POST AND BEAM) PER TABLE R302.6
- W. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7SQ. FT. (EXCEPT AT GRADE FLOOR OPENING SHALL BE MIN. 5 SQ. FT.) MIN. NET WINDOW OPENING HEIGHT DIMENSION, 24" CLEAR. MIN. NET OPENING WIDTH DIM. 20" CLEAR. FINISHED SILL HEIGHT MAX 44" ABOVE FLOOR. CRC R310.2.1
- X. PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE STANDARDS AS OUTLINED ON SHEET GN-003 PER SECTION C6B-C4.303
- Y. ALL SOLID FUEL BURNING APPLIANCES MAY BE INSTALLED ONLY IF EPA CERTIFIED AS REQUIRED BY THE AIR POLLUTION CONTROL BOARD. EXCEPTION B APPROVED GAS APPLIANCES. EXTERIOR FIRE PLACES STANDING ALONE AS GARDEN & BBQ APPLIANCES

MEMO/REVISION: DATE:
 PLANNING SHO 2nd SUBMITTAL 04/25/2023
 PLANNING SHO 3rd SUBMITTAL 06/08/2023
 PLANNING SHO 4th SUBMITTAL 08/14/2023



NOT FOR CONSTRUCTION

PROJECT: FISHER ADU
 952 ALAMEDA PADRE SERRA
 SANTA BARBARA, CA 93103
 APN: 019-252-015



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SCALE: AS NOTED
 PRINT DATE: 11/29/23
 SHEET:

FLOOR PLANS

